



Zoning Commission Case No. 21-26
NRP Properties LLC and Marshall Heights Community Development Organization
Planned Unit Development and Related Map Amendment

- Chris Marshall, The NRP Group
- Babatunde Oloyede, Marshall Heights Community Development Org.
- Jeff Goins, PGN Architects
- Daniel Solomon, Gorove Slade
- Meridith Moldenhauer, Cozen O'Connor

- National real estate development company that develops, builds and manages market-rate and affordable communities
- Developed 24,000 affordable homes in 200 properties
- Mission statement: To create exceptional rental opportunities for individuals and families, regardless of income
- Operates in 15 states and the District of Columbia
- DC-area affordable housing work focuses on transit-adjacent, high-opportunity locations

- Largest and oldest African American community-based development organization in Washington, D.C.
- Provides services to increase access to affordable housing, expand economic opportunity and improve quality of life
- Resident Resource Center tailored to individuals and families living in the project
- Examples of training and educational programming includes
 - Financial planning
 - Workforce development skills
 - Environmental, health and wellness
 - Community building

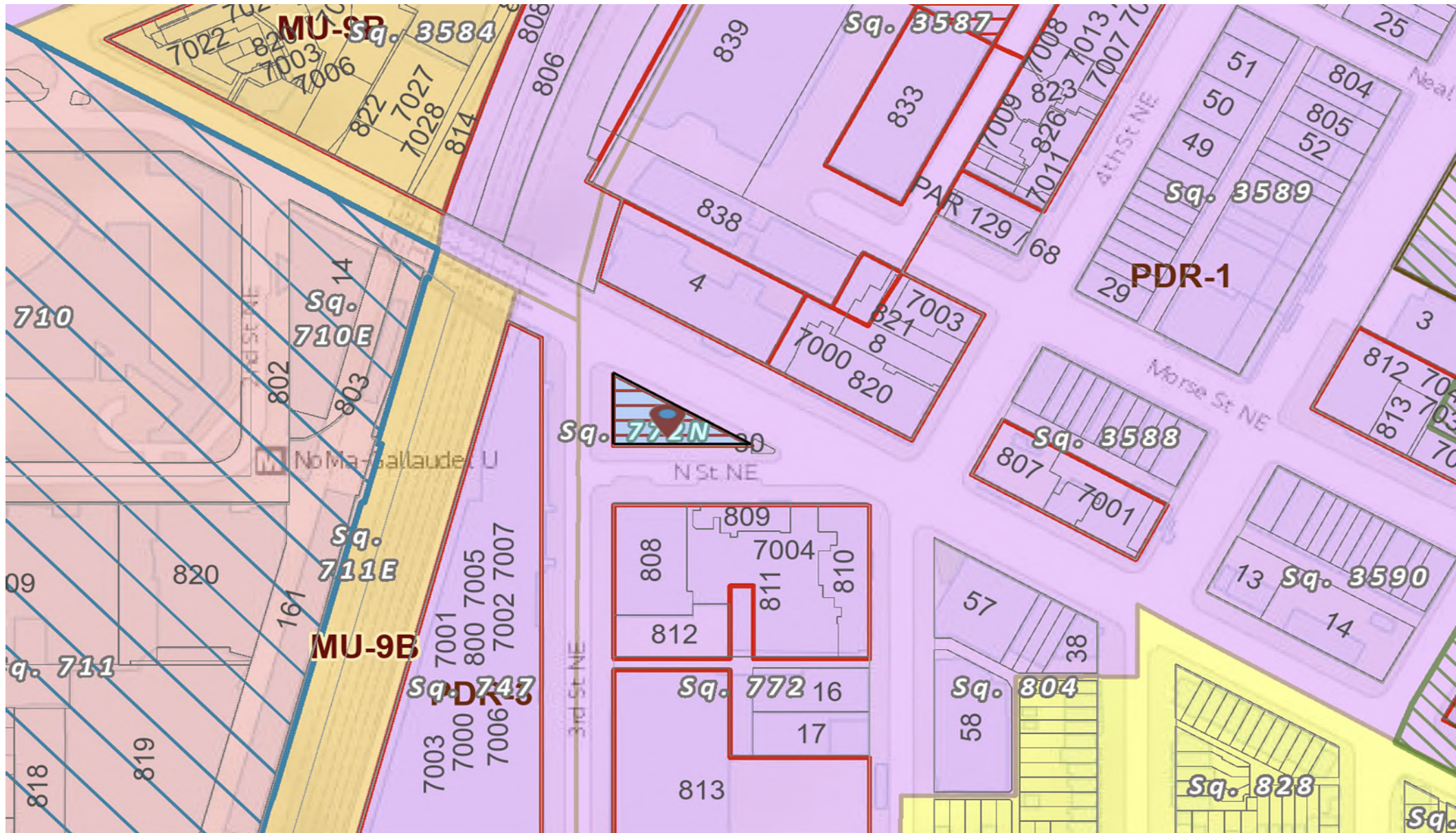


The Property – 301 Florida Avenue NE

- 12-story plus penthouse new construction
- 115 all-affordable units
 - ½ of units at or below 50% AMI; ½ of units at or below 30% AMI
 - Family housing: 47% of units are 2 BRs and 3 BRs
- 2,867 sq. ft. of non-residential space on ground floor
- Resident amenities
 - Toddler room/indoor playground
 - Fitness center
 - Computer lab/library and conference room
- Resident services from MHCDO

Category	Benefit
Housing	115 units with 24 three-bedroom units
Affordable Housing	All-affordable, at deep levels of affordability (½ of units at 50% AMI and ½ at 30% AMI)
Superior Urban Design	Flat-iron design; façade detailing; all units with balconies
Site Planning and Efficient Land Utilization	Improving small, triangular site; promoting walkability with no parking/loading and public space improvements
Streetscape	\$150,000 to improve surrounding streetscape; 2-foot setback on Florida Ave; loading and PUDO areas; exceeding short-term bicycle parking requirement (6 req'd; 26 prov.)
Public Benefits Advancing Policy Objectives	MHCDO Resident Resource Center; toddler room; computer lab/library; gym

- November 3, 2021 – ANC 6C PZE Committee
- November 10, 2021 – ANC 6C
- May 4, 2022 – ANC 6C PZE Committee
- June 1, 2022 – ANC 6C PZE Committee
- July 6, 2022 – ANC 6C PZE Committee
- In addition to several individual meetings directly with ANC commissioners
- Met with ANC 5D as well (ANC across Florida Avenue)
- July 13, 2022 – ANC 6C (vote of support)



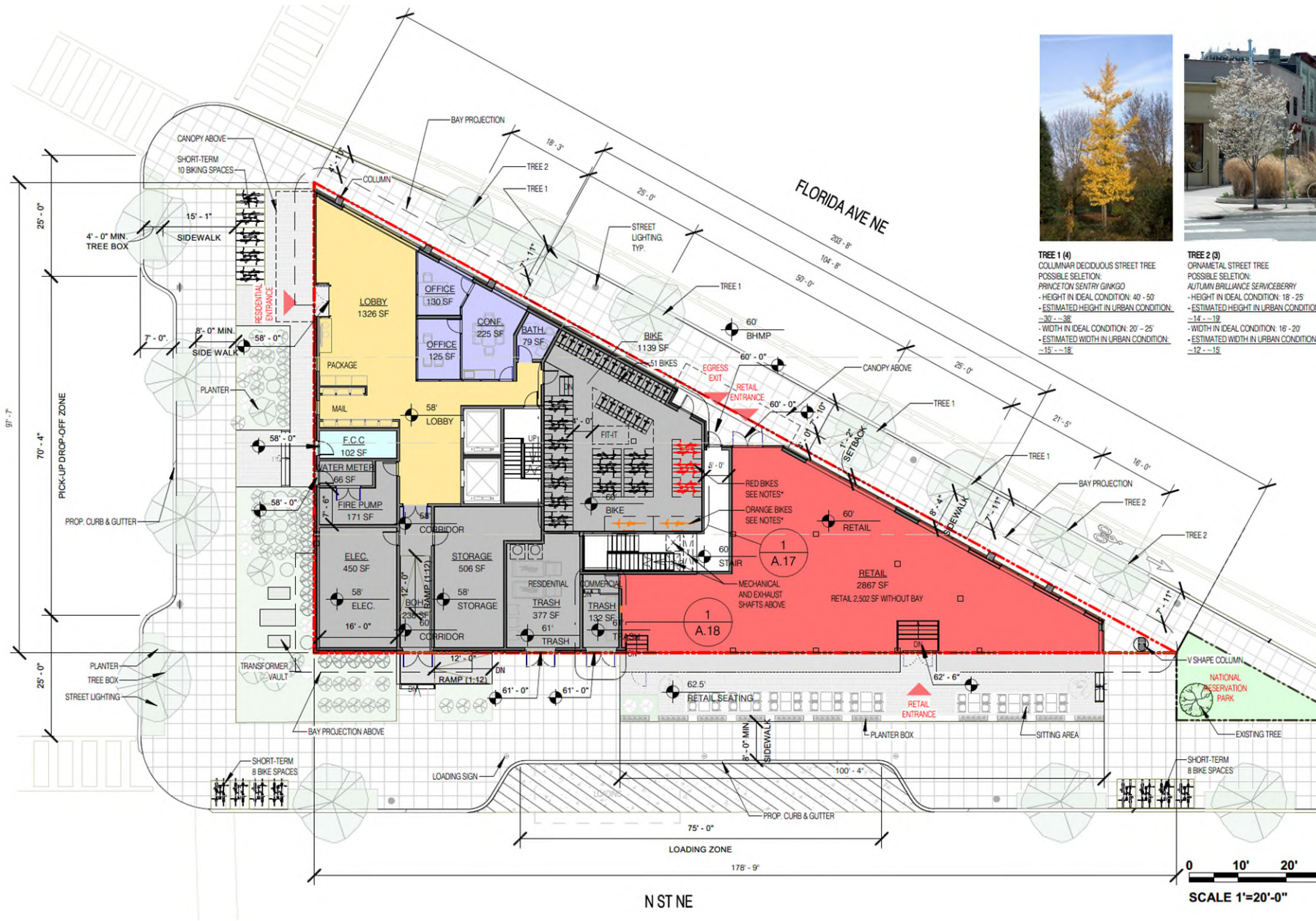


Context – Along Florida Ave NE





3RD ST NE



TREE 1 (4)
 COLUMNAR DECIDUOUS STREET TREE
 POSSIBLE SELECTION:
 PRINCETON SENTRY GINKGO
 - HEIGHT IN IDEAL CONDITION: 40 - 50
 - ESTIMATED HEIGHT IN URBAN CONDITION: -30 - -38
 - WIDTH IN IDEAL CONDITION: 20' - 25'
 - ESTIMATED WIDTH IN URBAN CONDITION: -15' - -18'



TREE 2 (3)
 ORNAMENTAL STREET TREE
 POSSIBLE SELECTION:
 AUTUMN BRILLIANCE SERVICEBERRY
 - HEIGHT IN IDEAL CONDITION: 18 - 25
 - ESTIMATED HEIGHT IN URBAN CONDITION: -14 - -19
 - WIDTH IN IDEAL CONDITION: 16 - 20'
 - ESTIMATED WIDTH IN URBAN CONDITION: -12 - -15'

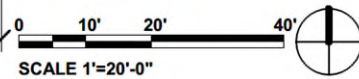
PROGRAM SUMMARY

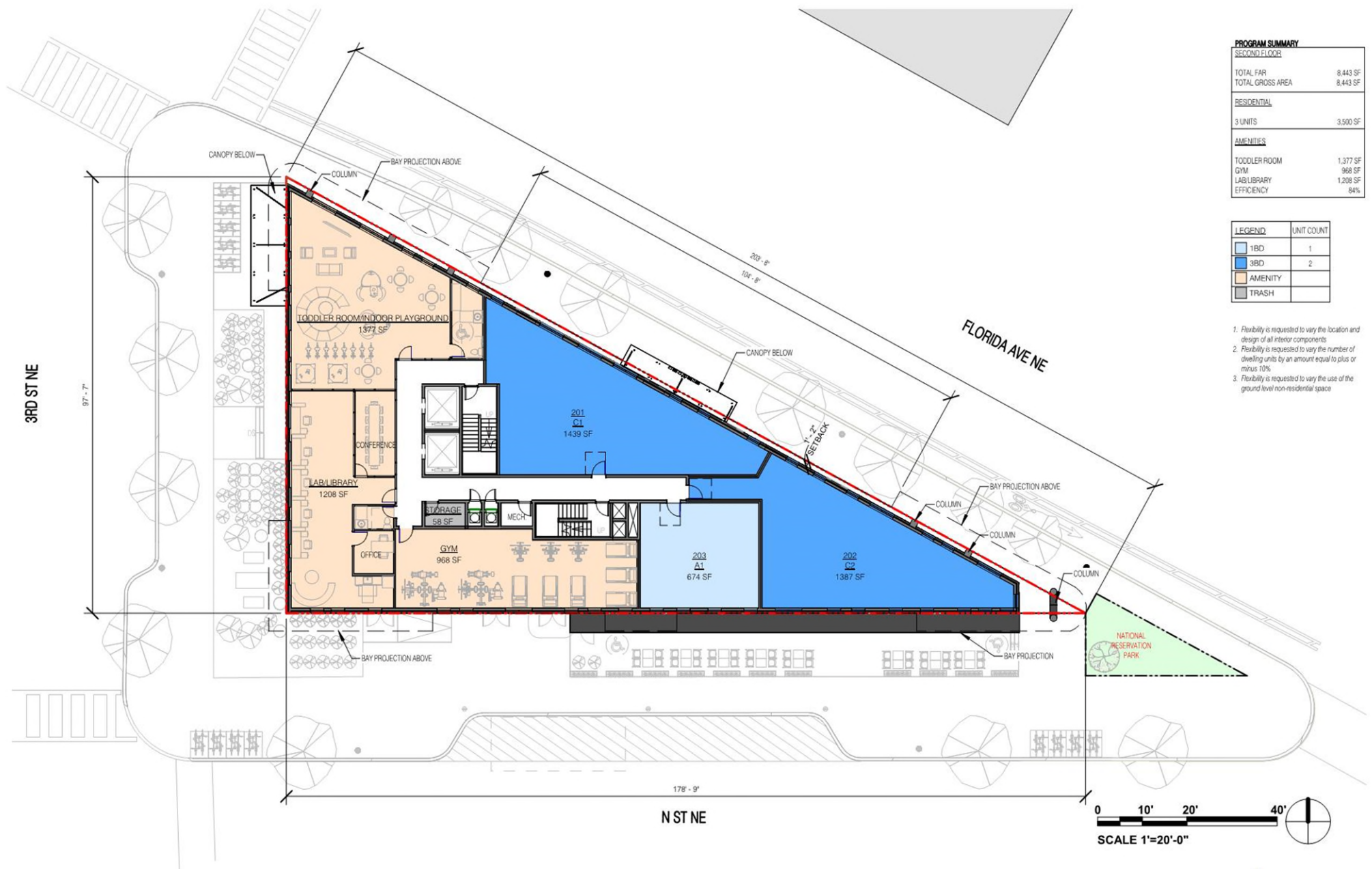
FIRST FLOOR	
TOTAL FAR	8,329 SF
TOTAL GROSS AREA	8,700 SF
RESIDENTIAL	
LOBBY/MAIL/OFFICE	1,885 SF
RETAIL	2,873 SF
BIKE PARKING	1,139 SF
EFFICIENCY	68 %
UTILITY BOH.	1,804 SF
	238 SF

LEGEND

- B.O.H
- BATH
- BIKE
- ELEC.
- F.C.C
- FIRE PUMP
- LOBBY
- OFFICE
- RETAIL
- TRASH
- WATER METER

- Flexibility is requested to vary the location and design of all interior components
 - Flexibility is requested to vary the number of dwelling units by an amount equal to plus or minus 10%
 - Flexibility is requested to vary the use of the ground level non-residential space
- * **RED BIKES (6)**
10% OF BIKES EQUIPED WITH EV. OUTLET
 - * **ORANGE BIKES (2)**
4% OF THE BIKES ACCOMMODATE FAMILY BIKES - 10 X 3
 - * RETAIL TRASH AREA IS SUBJECT TO CHANGE PER FUTURE TENANTS' NEED





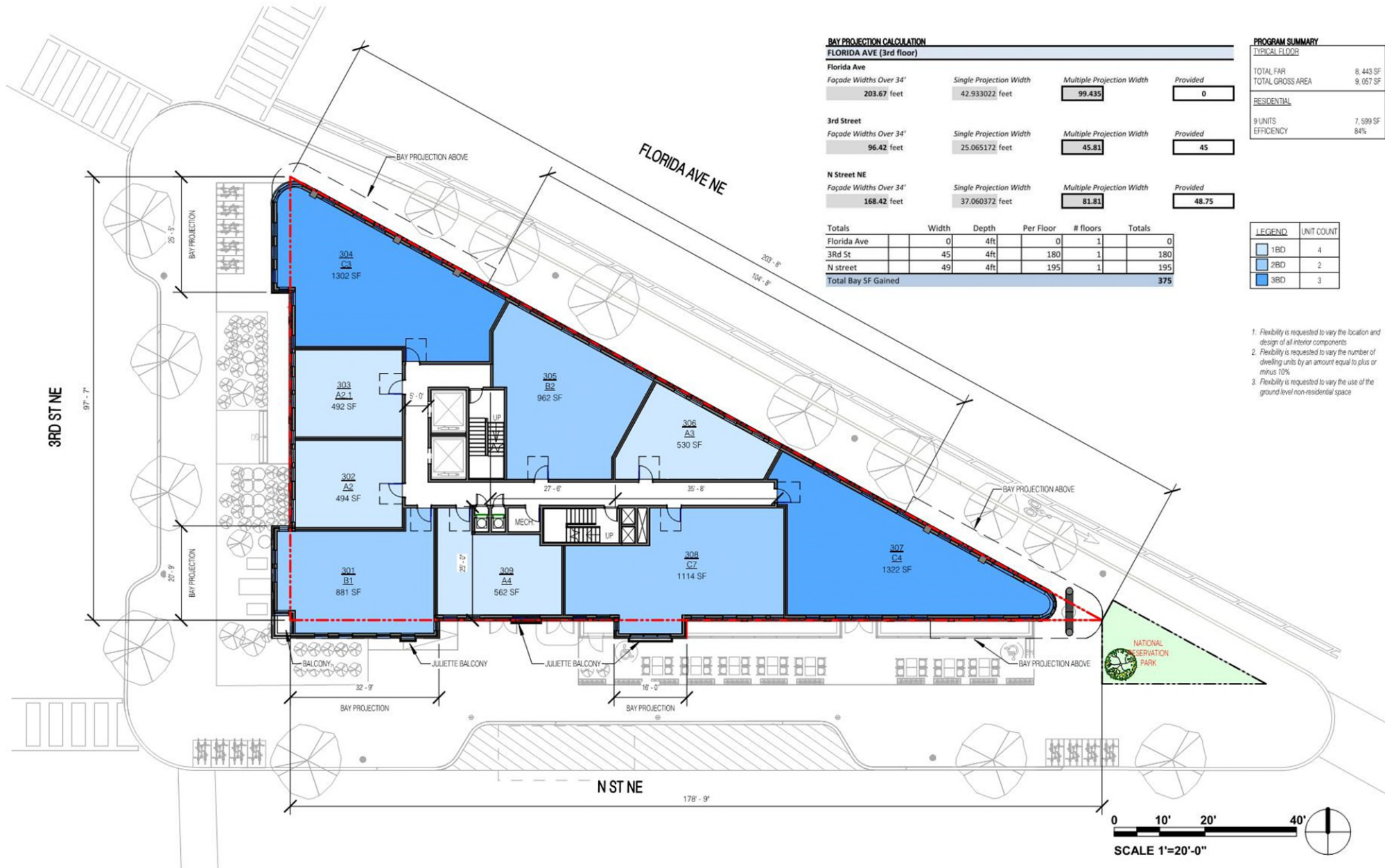
PROGRAM SUMMARY

SECOND FLOOR	
TOTAL FAR	8,443 SF
TOTAL GROSS AREA	8,443 SF
RESIDENTIAL	
3 UNITS	3,500 SF
AMENITIES	
TODDLER ROOM	1,377 SF
GYM	968 SF
LAB/LIBRARY	1,208 SF
EFFICIENCY	84%

LEGEND

LEGEND	UNIT COUNT
1BD	1
3BD	2
AMENITY	
TRASH	

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3. Flexibility is requested to vary the use of the ground level non-residential space



BAY PROJECTION CALCULATION

FLORIDA AVE (3rd floor)

Florida Ave	Single Projection Width	Multiple Projection Width	Provided
Facade Widths Over 34'	42.933022 feet	99.435	0
203.67 feet			

3rd Street	Single Projection Width	Multiple Projection Width	Provided
Facade Widths Over 34'	25.065172 feet	45.81	45
96.42 feet			

N Street NE	Single Projection Width	Multiple Projection Width	Provided
Facade Widths Over 34'	37.060372 feet	81.81	48.75
168.42 feet			

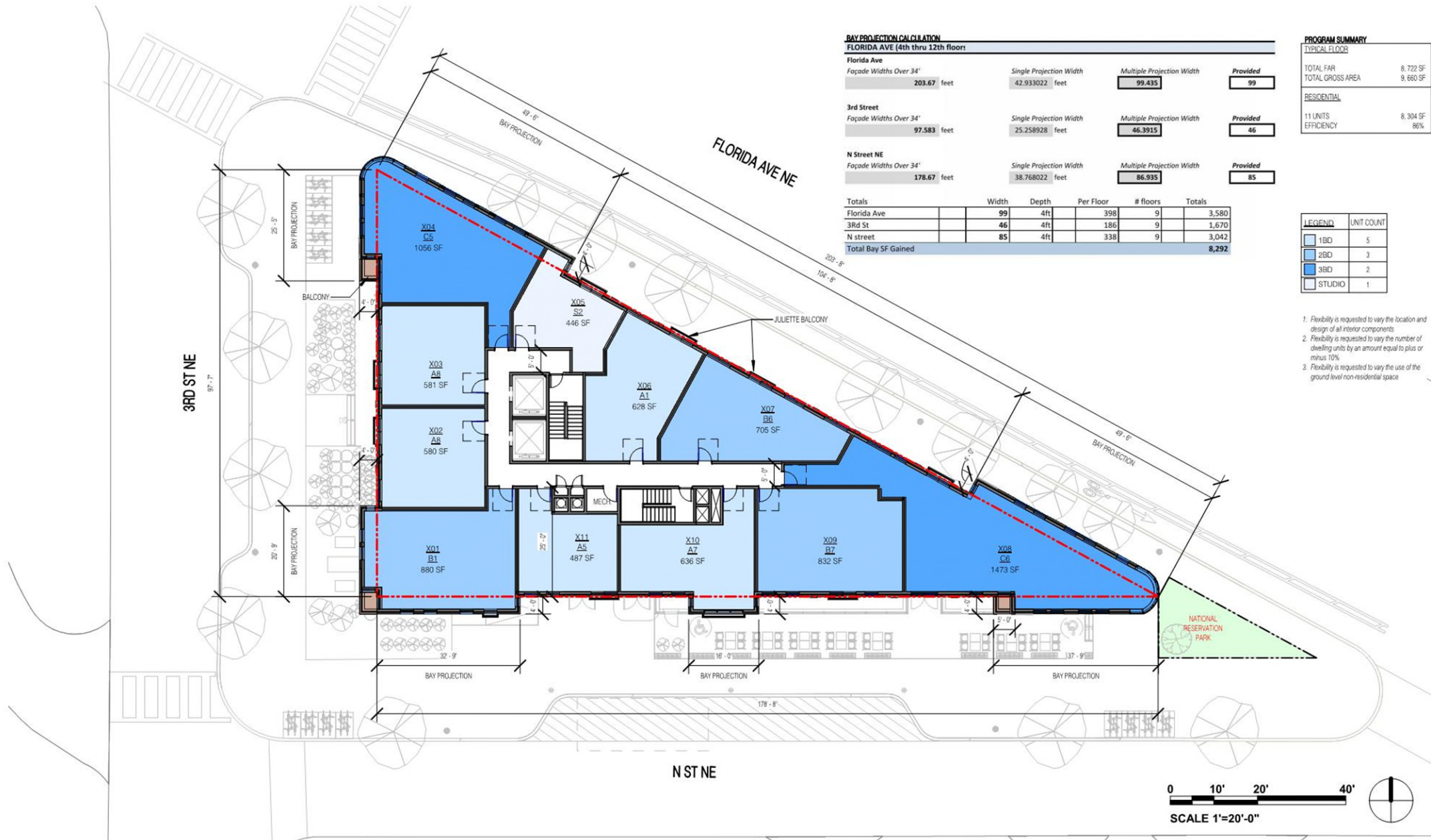
Totals	Width	Depth	Per Floor	# floors	Totals
Florida Ave	0	4ft	0	1	0
3rd St	45	4ft	180	1	180
N street	49	4ft	195	1	195
Total Bay SF Gained					375

PROGRAM SUMMARY

TYPICAL FLOOR	
TOTAL FAR	8,443 SF
TOTAL GROSS AREA	9,057 SF
RESIDENTIAL	
9 UNITS	7,599 SF
EFFICIENCY	84%

LEGEND	UNIT COUNT
■ 1BD	4
■ 2BD	2
■ 3BD	3

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BAY PROJECTION CALCULATION
FLORIDA AVE (4th thru 12th floors)

Florida Ave	Single Projection Width	Multiple Projection Width	Provided
Façade Widths Over 34'	42.933022 feet	99.435	99
3rd Street	Single Projection Width	Multiple Projection Width	Provided
Façade Widths Over 34'	25.258928 feet	46.3915	46
N Street NE	Single Projection Width	Multiple Projection Width	Provided
Façade Widths Over 34'	38.768022 feet	86.935	85

Totals	Width	Depth	Per Floor	# floors	Totals
Florida Ave	99	4ft	398	9	3,580
3rd St	46	4ft	186	9	1,670
N street	85	4ft	338	9	3,042
Total Bay SF Gained					8,292

PROGRAM SUMMARY

TYPICAL FLOOR

TOTAL FAR	8,722 SF
TOTAL GROSS AREA	9,660 SF

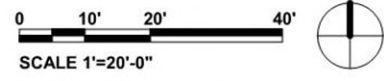
RESIDENTIAL

11 UNITS	8,304 SF
EFFICIENCY	86%

LEGEND

LEGEND	UNIT COUNT
1BD	5
2BD	3
3BD	2
STUDIO	1

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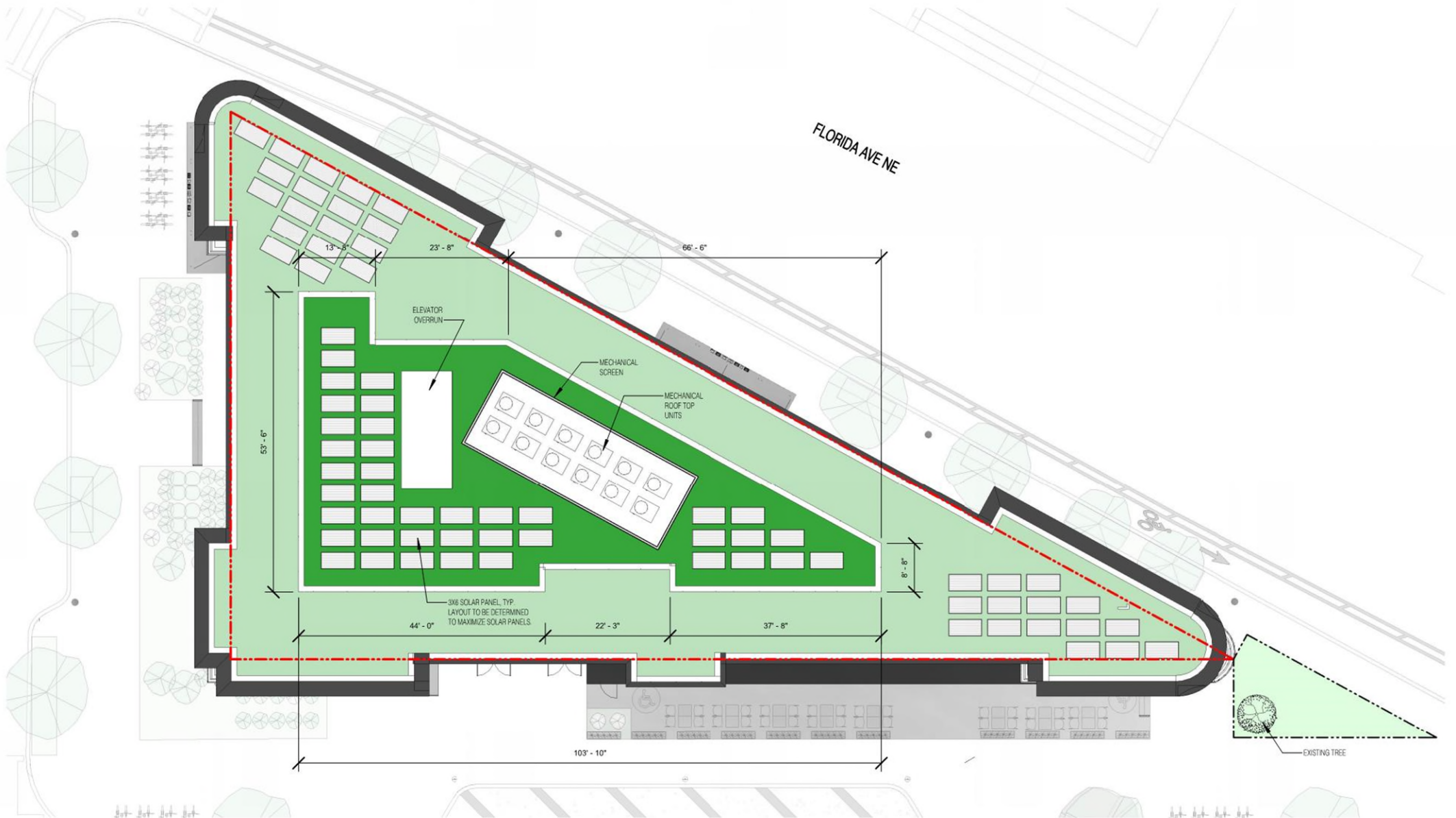


PROGRAM SUMMARY

TYPICAL FLOOR:	
TOTAL FAR	0 SF
TOTAL GROSS AREA	3,488 SF
RESIDENTIAL:	
4 UNITS	2,345 SF
EFFICIENCY	67%

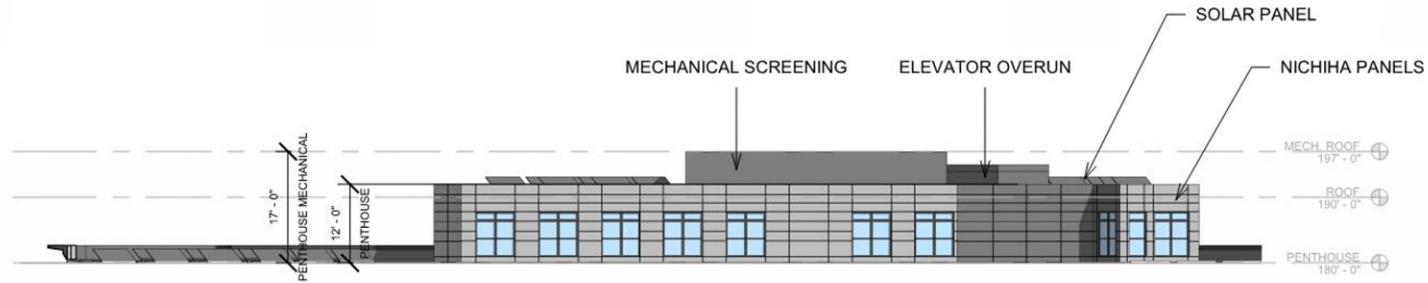
LEGEND	UNIT COUNT
2BD	1
3BD	1
STUDIO	2

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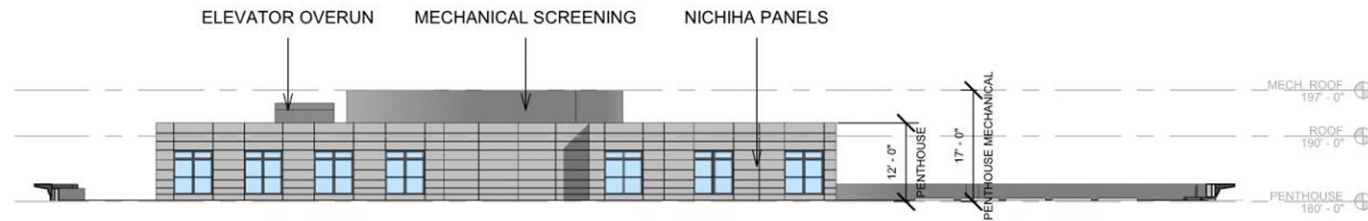


① ENLARGED ROOF MECH PLAN
1/16" = 1'-0"

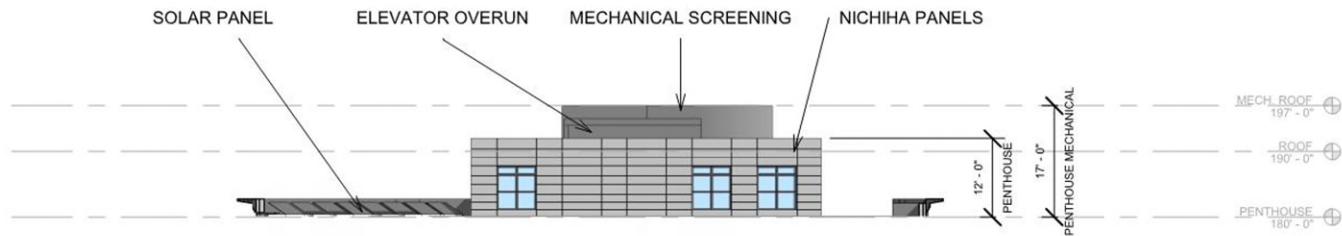
MEP Roof Plan



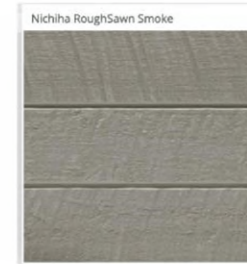
② PENTHOUSE ELEVATION (FLORIDA AVE)
1" = 20'-0"



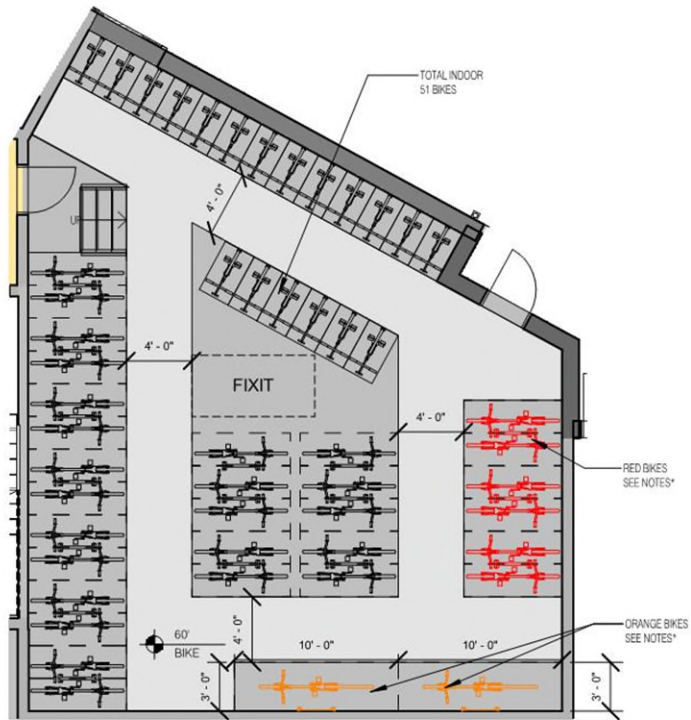
③ PENTHOUSE ELEVATION (N ST)
1" = 20'-0"



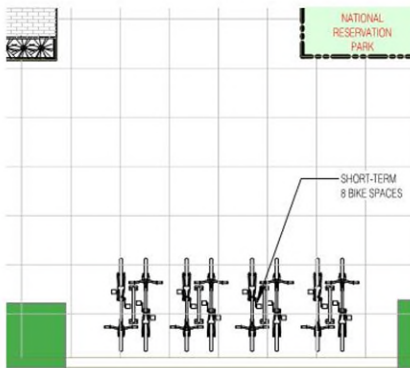
④ PENTHOUSE ELEVATION (THIRD ST)
1" = 20'-0"



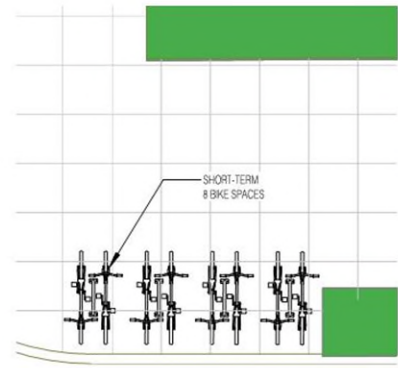
① PENTHOUSE ELEVATION KEYPLAN
1" = 80'-0"



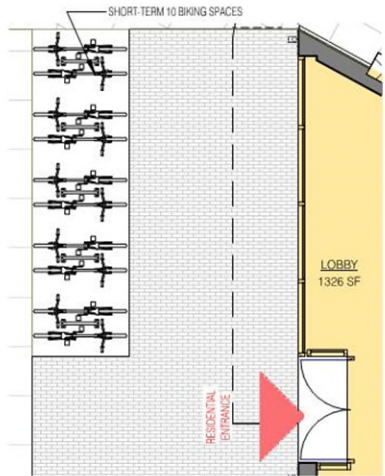
1 INTERIOR BIKE SPACES
1/8" = 1'-0"



2 EXTERIOR BIKE SPACES 1
1/8" = 1'-0"



3 EXTERIOR BIKE SPACES 2
1/8" = 1'-0"



4 EXTERIOR BIKE SPACES 3
1/8" = 1'-0"

SUMMARY

REQUIRED RESIDENTIAL BIKE SPACES

LONG-TERM	38
SHORT-TERM	6
TOTAL BIKE SPACES	44

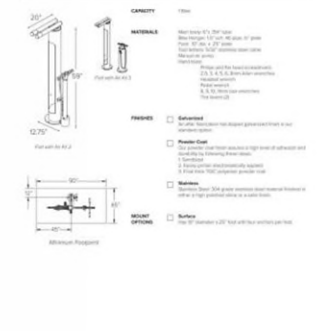
PROVIDED RESIDENTIAL BIKE SPACES

LONG-TERM	51
SHORT-TERM	26
TOTAL BIKE SPACES	77

* RED BIKES
10% BIKES EQUIPPED WITH EV. OUTLET
* ORANGE BIKES
FAMILY SIZE BIKES - 10 X 3
4% OF THE BIKES ACCOMMODATE FAMILY BIKES - 10 X 3

BIKE SPACES SUMMARY

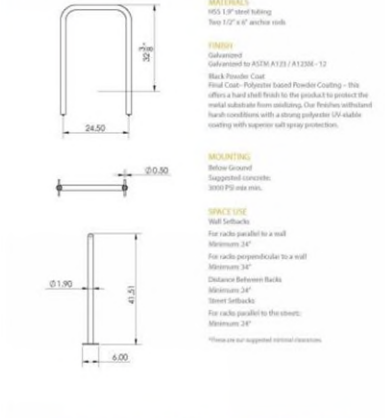
FIXIT
Submittal Sheet



www.trafficcone.com
www.parkingzone.com
800-292-7275

BIKE REPAIR TOOL

GROUND CONTROL
SYSTEMS



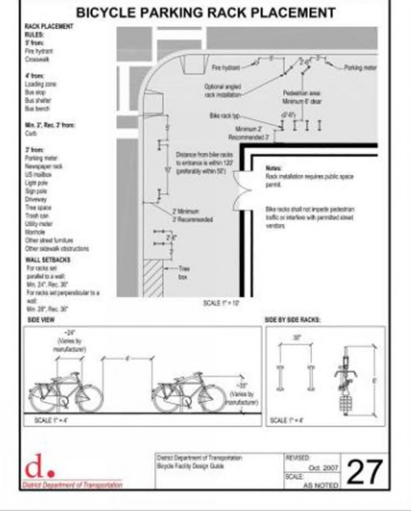
www.parkingzone.com | P: 800-630-7275 | info@parkingzone.com

INTERIOR BIKE RACK

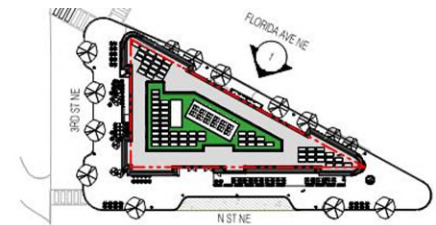


EXTERIOR BIKE RACK

1. Flexibility is requested to vary the location, attributes, and general design of the approved streetscape to comply with the requirements of and approval by the DDOT Public Space Division.



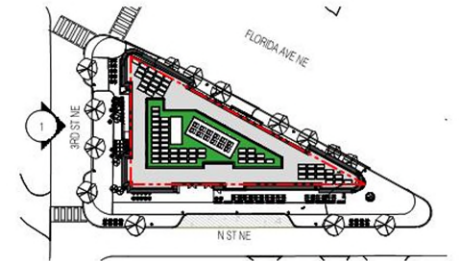
1. Flexibility is requested to vary the final selection of the exterior materials within the color ranges and material types as proposed without reducing the quality of the materials and to make minor refinements to exterior details and dimensions.
2. Flexibility is requested to vary the approved signage provided it is consistent with the indicated dimensions and materials.
3. Flexibility is requested to vary the non-residential storefront and associated features and fixtures in public space subject to individual tenant modifications.
4. Flexibility is requested to vary exterior ornamentation based on comments from National Park Service.



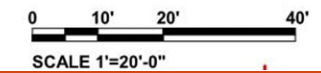
① Florida Ave Elevation
1" = 20'-0"

0 10' 20' 40'
SCALE 1"=20'-0"

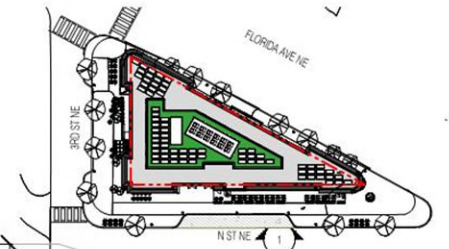
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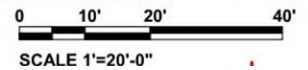
① Third St Elevation
1" = 20'-0"



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① N ST Elevation
1" = 20'-0"

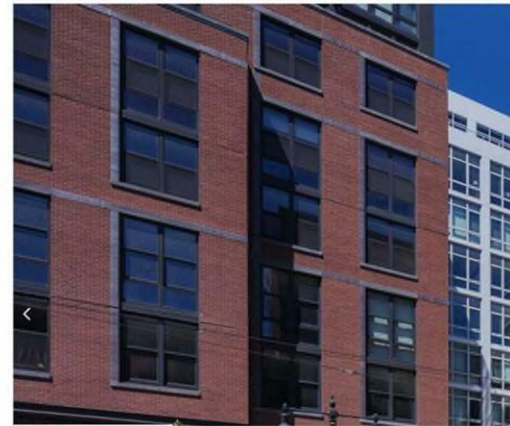




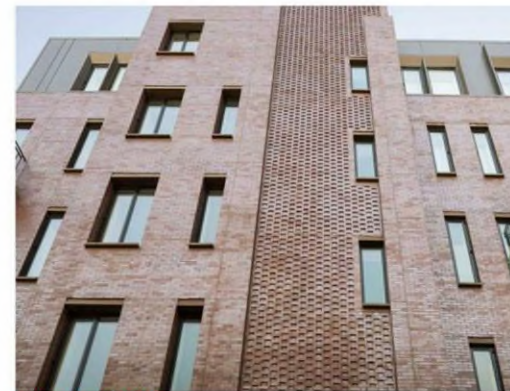
FLAT IRON CLASSIC



RENDERING DETAIL



PRECEDENT IMAGE



PRECEDENT IMAGE



PRECEDENT IMAGE



1



2



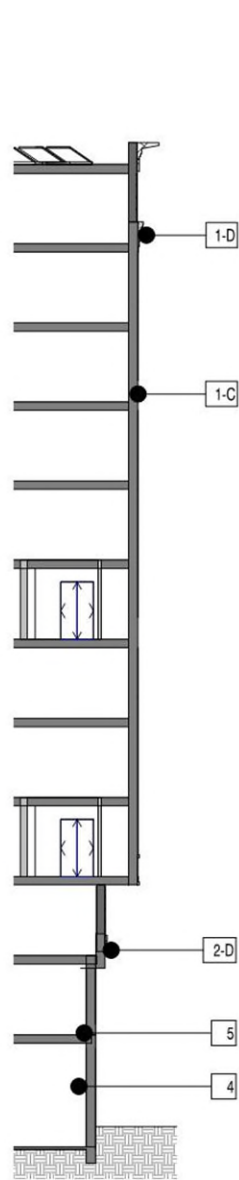
3



4



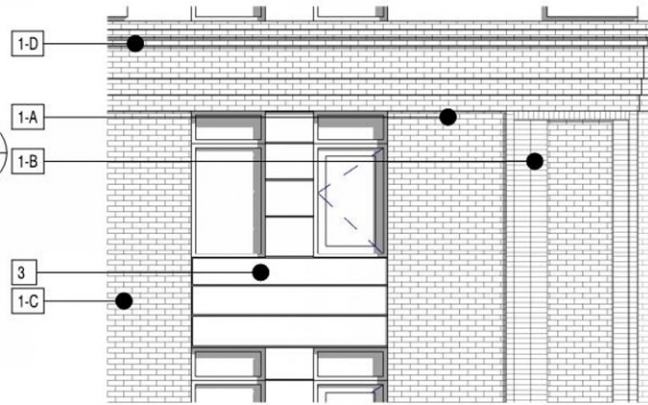
5



① Partial Section 1
1/16" = 1'-0"



② Partial Elevation 1
1/16" = 1'-0"



③ Partial Elevation 1 - Callout 1
3/16" = 1'-0"



④ Partial Elevation 1 - Callout 2
3/16" = 1'-0"



- 1. CONTINENTAL BRICK COMPANY
STD. 416 MOD.**
A. SOLDIER BRICK PATTERN
B. STACK BRICK PATTERN
C. RUNNING BOND STANDARD BRICK
D. BRICK CORNICE



- 2. GLEN-GERY _ EBONITE SMOOTH**
A. SOLDIER BRICK PATTERN
B. STACK BRICK PATTERN
C. RUNNING BOND STANDARD BRICK
D. BRICK CORNICE



- 3. NICHHA_DESIGN SERIES_FOG**



- 4. STOREFRONT**

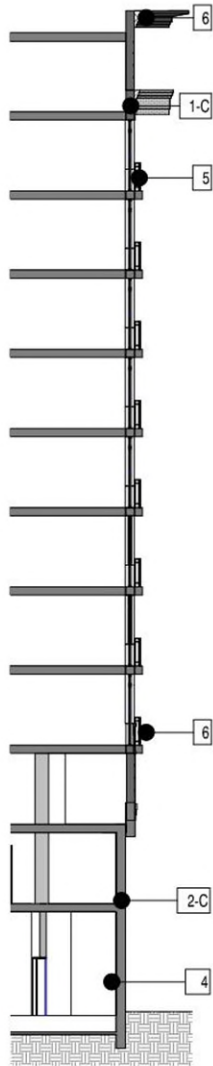


- 5. PAINTED CONCRETE COLUMN**



- 6. STONE BASE**

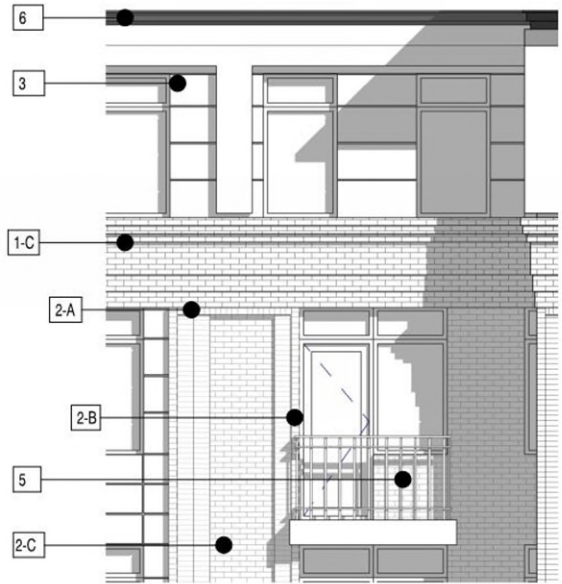
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3. Flexibility is requested to vary the non-residential storefront and associated features and fixtures in public space subject to individual tenant modifications.
4. Flexibility is requested to vary exterior ornamentation based on comments from National Park Service.
5. Flexibility is requested to vary the window frames to light grey, grey or black.



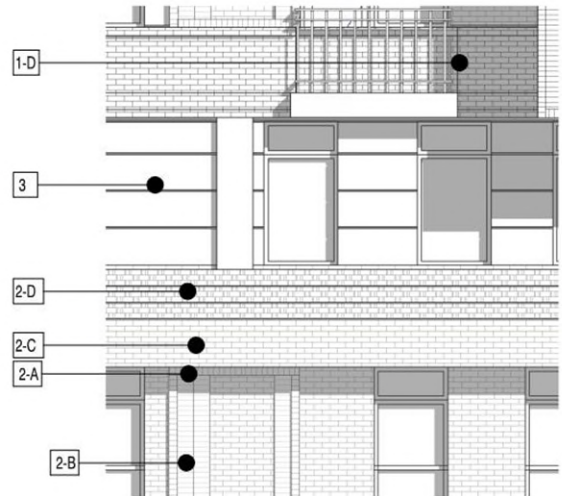
① Partial Section 2
1/16" = 1'-0"



② Partial Elevation 2
1/16" = 1'-0"



③ Partial Elevation 2 - Callout 1
3/16" = 1'-0"



④ Partial Elevation 2 - Callout 2
3/16" = 1'-0"



1. CONTINENTAL BRICK COMPANY
STD. 416 MOD.

- A. SOLDIER BRICK PATTERN
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- D. BRICK CORNICE



2. GLEN-GERY
EBONITE SMOOTH

- A. SOLDIER BRICK PATTERN
- B. STACK BRICK PATTERN
- C. RUNNING BOND STANDARD BRICK
- D. BRICK CORNICE



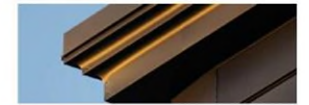
3. NICHIBA_DESIGN SERIES_FOG



4. STOREFRONT

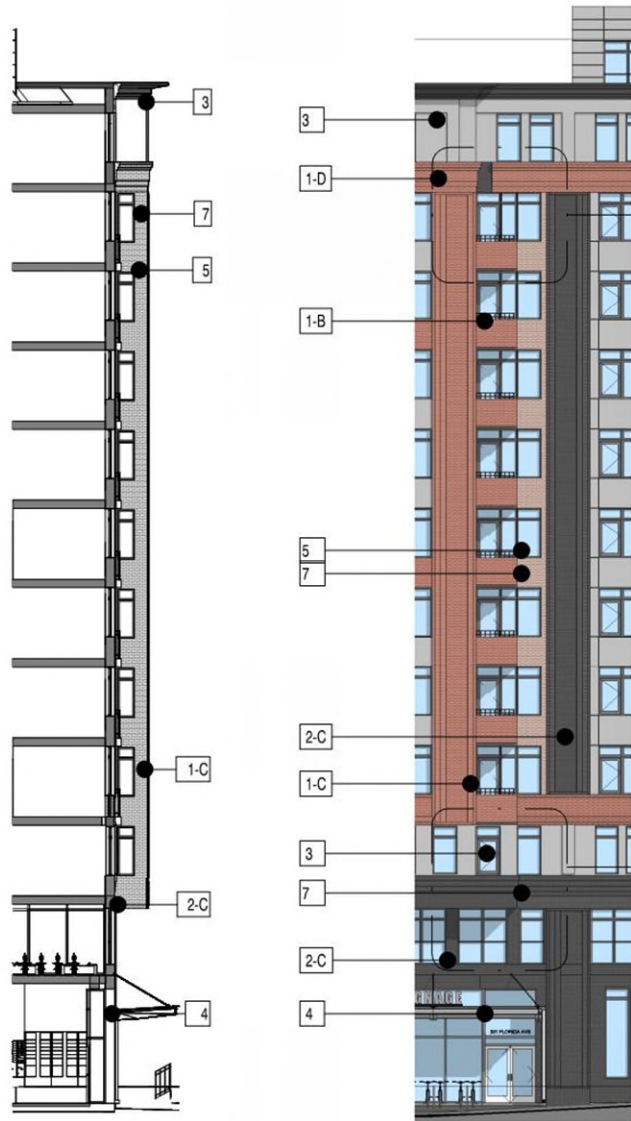


5. METAL BALCONY /
JULIETTE RAILING



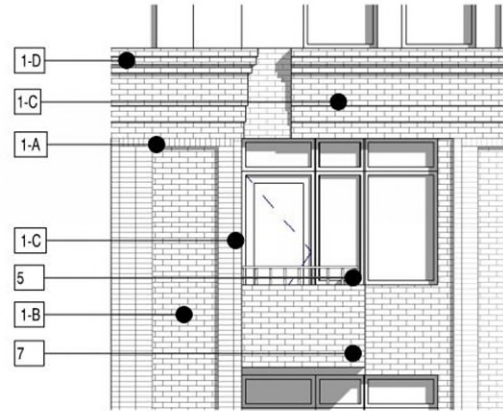
6. METAL COPING SYSTEM

1. Flexibility is requested to vary the final selection of the exterior materials within the color ranges and material types as proposed without reducing the quality of the materials and to make minor refinements to exterior details and dimensions.
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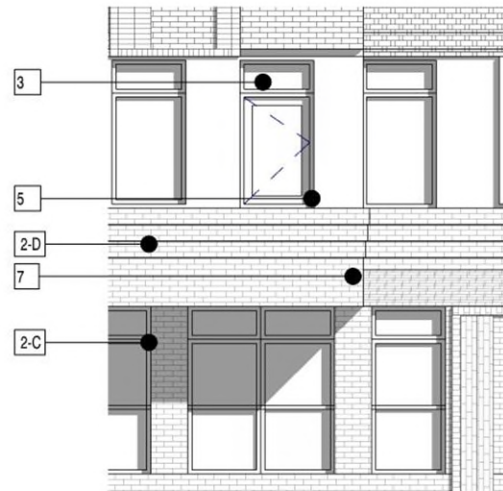


① Partial Section 3
1/16" = 1'-0"

② Partial Elevation 3
1/16" = 1'-0"



③ Partial Elevation 3 - Callout 1
3/16" = 1'-0"



④ Partial Elevation 3 - Callout 2
3/16" = 1'-0"



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2. GLEN-GERY
EBONITE SMOOTH

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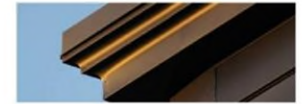
3. NICHIBA_DESIGN SERIES_FOG



4. STOREFRONT



5. METAL BALCONY /
JULIETTE RAILING

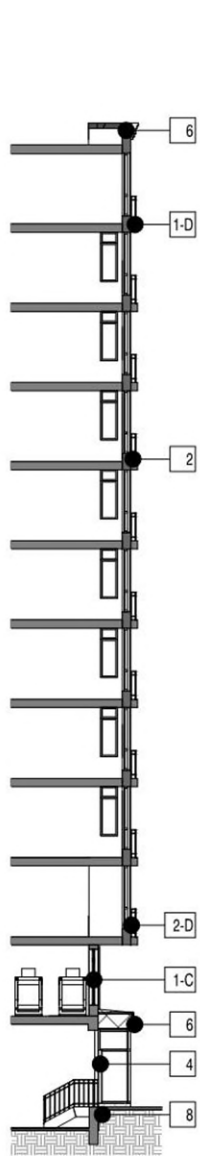


6. METAL COPING SYSTEM



7. BRICK BALCONY

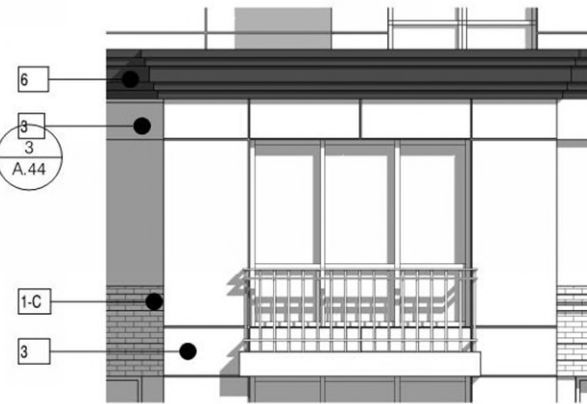
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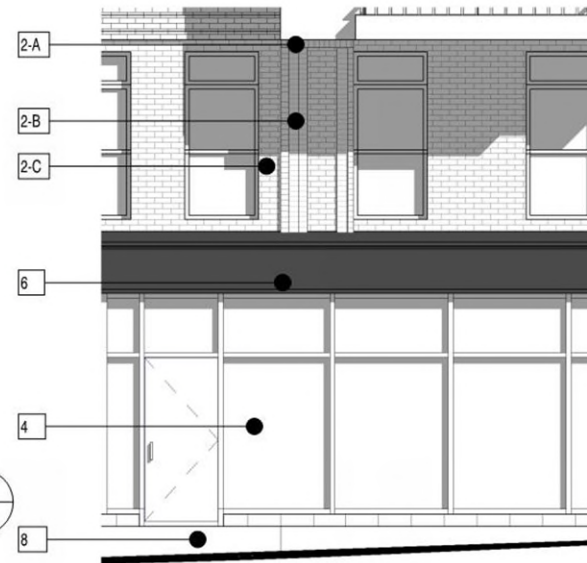
① Partial Section 4
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② Partial Elevation 4
1/16" = 1'-0"



③ Partial Elevation 4 - Callout 1
3/16" = 1'-0"



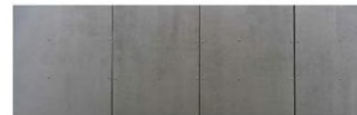
④ Partial Elevation 4 - Callout 2
3/16" = 1'-0"



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A. SOLDIER BRICK PATTERN
B. STACK BRICK PATTERN
C. RUNNING BOND STANDARD BRICK
D. BRICK CORNICE



2. GLEN-GERY
EBONITE SMOOTH
A. SOLDIER BRICK PATTERN
B. STACK BRICK PATTERN
C. RUNNING BOND STANDARD BRICK
D. BRICK CORNICE



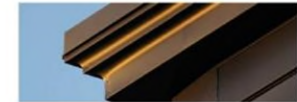
3. NICHIBA_DESIGN SERIES_FOG



4. STOREFRONT



5. METAL BALCONY /
JULIETTE RAILING



6. METAL COPING SYSTEM

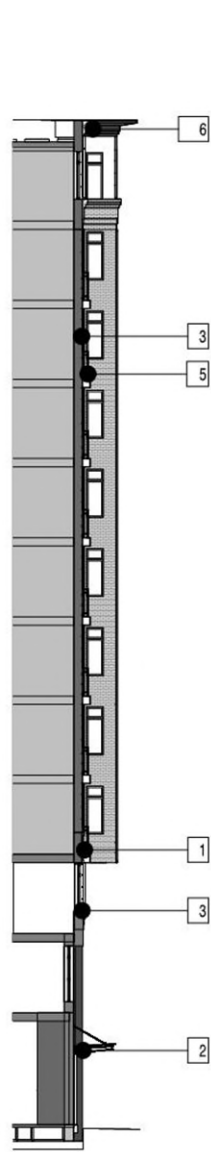


7. BRICK BALCONY

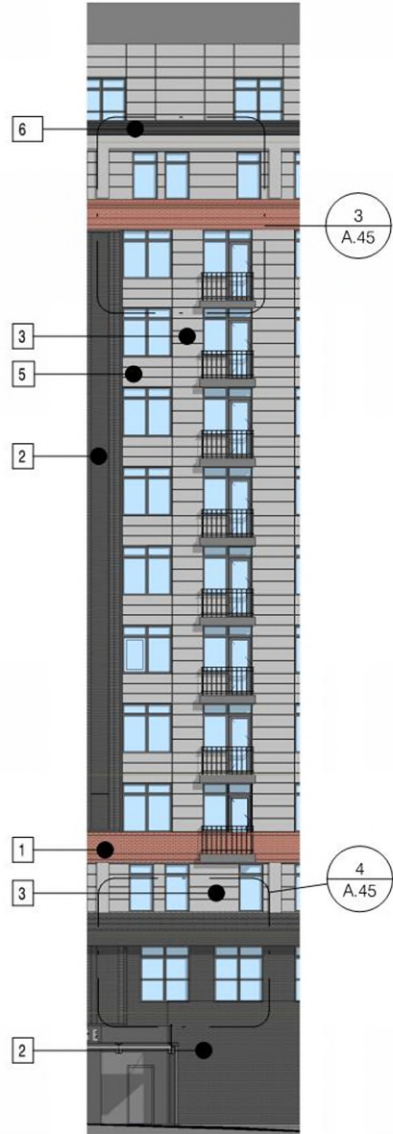


8. STONE BASE

1. Flexibility is requested to vary the final selection of the exterior materials within the color ranges and material types as proposed without reducing the quality of the materials and to make minor refinements to exterior details and dimensions.
2. Flexibility is requested to vary the approved signage provided it is consistent with the indicated dimensions and materials.
3. Flexibility is requested to vary the non-residential storefront and associated features and fixtures in public space subject to individual tenant modifications.
4. Flexibility is requested to vary exterior ornamentation based on comments from National Park Service.
5. Flexibility is requested to vary the window frames to light grey, grey or black.



① Partial Section 5
1/16" = 1'-0"



② Partial Elevation 5
1/16" = 1'-0"



③ Partial Elevation 5 - Callout 1
3/16" = 1'-0"



④ Partial Elevation 5 - Callout 2
3/16" = 1'-0"



1. CONTINENTAL BRICK COMPANY
STD. 416 MOD.

- A. SOLDIER BRICK PATTERN
- B. STACK BRICK PATTERN
- C. RUNNING BOND STANDARD BRICK
- D. BRICK CORNICE

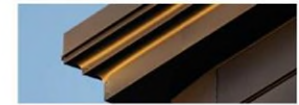


2. GLEN-GERY
EBONITE SMOOTH

- A. SOLDIER BRICK PATTERN
- B. STACK BRICK PATTERN
- C. RUNNING BOND STANDARD BRICK
- D. BRICK CORNICE



5. METAL BALCONY /
JULIETTE RAILING



6. METAL COPING SYSTEM



3. NICHIIA_DESIGN SERIES_FOG



4. STOREFRONT

1. Flexibility is requested to vary the final selection of the exterior materials within the color ranges and material types as proposed without reducing the quality of the materials and to make minor refinements to exterior details and dimensions.
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